

**MEETING DATE: 3/01/21**

**ITEM: 10D**

## **AGENDA ITEM SUMMARY**

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**Subject:**

**Resolution No. 33-21 approving the quote from Henkel Construction for ambulance bay work at the fire station in the amount of \$138,900.**

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**Background Summary:**

We have received two quotes for both of the individual projects A) 401 N. Main window/door replacement work and; **B) Ambulance bay remodel at the fire Station.** While these are stand alone projects they are both linked in that one quote cannot be accepted without the other as the individual quotes are provided by the contractors contingent upon council acceptance of both projects.

The following pages include a spreadsheet which gives you a work and price comparison between the two projects for your review. As you will see, the contractor who has the overall lowest quote for the two projects is Henkel Construction, for a total cost of \$199,420, compared to \$204,947 from Steege Construction.

Henkel Construction has lowest quote for the 401 N. Main work, however Steege Construction has the lowest quote for the ambulance bay work. So we will be looking to approve a quote for the ambulance bay work which is not the lowest of the two quotes. The justification here is that the quotes are only valid if both projects are selected, and by comparing the two you end up with the lowest overall amount.

As you know we have been trying to find a solution to the window/door replacement work at the Chamber/ADC/Revite office for over two years now. We originally bid this out as a stand alone project estimated around \$60,000 but could not get anyone to give quotes or do the work, due to it being too small of a project. When the need to create space in the fire station for added ambulance activities came along this appeared like the right opportunity to put to smaller projects together and get quotes at the same time to get someone to want to do them.

**AMBULANCE NOTES:**

Attached are the quotes from the contractors and the plans for the work to be completed with the ambulance bay project at the Fire Station.

When the city and county entered into a new agreement with AMR Ambulance for service coverage, it was accepted that the provide space for AMR to operate.

There has been some discussion about the city possibly purchasing the existing building where AMR had been using for some of thier operations. I do not feel that is in the long term best interest of the city. So some additional expense now will serve us better down the road.

We recommend you approve the quote from Henkel Construction totaling \$138,900.

**RESOLUTION NO. 33-21**

*RESOLUTION ACCEPTING QUOTE FOR AMBULANCE BAY REMODEL PROJECT*

WHEREAS, the city desires to remodel the ambulance bay at the fire station, and

WHEREAS, quotes were requested and city staff is recommending accepting the quote from Henkel Construction from Mason City, Iowa for \$138,900.00;

WHEREAS, it is in the best interest of the citizens of the City of Charles City, Iowa that said project improvements be completed, and;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Charles City, Iowa, meeting in regular session on March 1, 2021 , to accept the quote from Henkel Construction for the ambulance bay remodel in the amount of \$138,900.00

COUNCIL MEMBER        moved the adoption of the foregoing Resolution;

COUNCIL MEMBER seconded the motion to adopt, and on roll call the voting was as follows:

AYES:

NAYS:

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Dean Andrews, Mayor

Attest:

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Trudy O'Donnell, City Clerk

Quote Comparisons - "Apples to Apples"	2.25.21		
	<b>Steege</b>	<b>Henkel</b>	<i>Accept alternate?</i>
<b>Ambulance Bay Remodel at Fire Station</b>			
Base Bid	\$ 123,863.00	\$ 138,900.00	
Alt-1: carpet tile/vinyl base	-	\$ 4,550.00	<i>no</i>
Alternate -2 Paint Mezzanine-epoxy	-	\$ 1,910.00	<i>no</i>
Delete Windows	\$ (2,870.00)	no change	<i>no</i>
Delete ACT	\$ (3,250.00)	no change	<i>no</i>
Added Exterior Painting	n/a	n/a	<i>no</i>
Fire Sprinkler	\$ 3,000.00	part of base bid	<i>yes</i>
Bid Total to compare	<b>\$ 126,863.00</b>	<b>\$ 138,900.00</b>	
<b>401 N. Main- Chamber/CCADC/Revite - Window/Door Project</b>			
Base Bid	\$ 73,252.00	\$ 56,180.00	
Alt -1 - exterior signage "401 N. Main"	\$ 2,232.00	\$ 1,775.00	<i>yes</i>
Alt -2 - exterior signage -listed names of entities	\$ 4,650.00	\$ 3,815.00	<i>no</i>
Alt -3 - install new main rear entry door	\$ 2,600.00	\$ 2,565.00	<i>yes</i>
Alt -4 - windor roller shades at new windows	no quote	\$ 3,120.00	<i>no</i>
Alt -5 - install automatic roller shades at new windows	no quote	\$ 5,610.00	<i>no</i>
Alt -6 -exteriror signage "Visitors Information"	no quote	\$ 930.00	<i>no</i>
Alt -7 - replace rear entry north door	no quote	\$ 3,540.00	<i>no</i>
Unit Price #1 wood paneling water damaged to replace as needed/ per foot price	no quote	\$ 100.00	<i>yes</i>
Curatin Wall system on Exterior Windows	\$ 3,800.00	no quote	<i>no</i>
	<b>\$ 78,084.00</b>	<b>\$ 60,520.00</b>	
<b>Total for both individual projects</b>			
	<b>\$ 204,947.00</b>	<b>\$ 199,420.00</b>	



# FIRE STATION RENOVATION

## 704 S GRAND AVE, CHARLES CITY, IOWA 50616

Project Status: Issue Date:	
REVISION NUMBER:	DATE:

**OWNER**

CITY OF CHARLES CITY  
 105 MILWAUKEE MALL  
 CHARLES CITY, IOWA 50616

**ARCHITECT:**

MARTIN GARDNER ARCHITECTURE, P.C.  
 700 11TH STREET, SUITE 200  
 MARION, IOWA 52302  
 MARK MOINE  
 MARKM@MARTINGARDNERARCH.COM  
 319-377-7604

**BUILDING CODE SUMMARY**

**BUILDING CODES**  
 2015 INTERNATIONAL BUILDING CODE  
 2015 INTERNATIONAL EXISTING BUILDING CODE  
 2015 INTERNATIONAL FIRE CODE  
 2015 INTERNATIONAL MECHANICAL CODE  
 2017 NATIONAL ELECTRIC CODE  
 2018 UNIFORM PLUMBING CODE  
 IOWA ADMINISTRATIVE CODE 641-25  
 2012 INTERNATIONAL ENERGY CONSERVATION CODE  
 2010 ADA STANDARDS

**CHAPTER 3 - USE AND OCCUPANCY**  
 BUILDING OCCUPANCY TYPE

V-B

**CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS**  
 TABLE 504.3 - ALLOWABLE HEIGHT IN FEET ABOVE GRADE PLANE  
 ALLOWABLE BUILDING HEIGHT  
 PROPOSED BUILDING HEIGHT

TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE  
 ALLOWABLE BUILDING HEIGHT  
 PROPOSED BUILDING HEIGHT

TABLE 506.2 - ALLOWABLE AREA FACTOR IN SF  
 ALLOWABLE AREA  
 PROPOSED AREA  
 EXISTING AREA (IF APPLICABLE)

SECTION 506 - BUILDING AND AREA MODIFICATIONS  
 FRONTAGE INCREASE

TOTAL BUILDING  
 PROPOSED AREA (MAIN FLOOR)  
 PROPOSED AREA (OTHER FLOORS)

TOTAL ALLOWABLE BUILDING AREA

SECTION 507 - UNLIMITED AREA BUILDINGS

TABLE 508.4 - REQUIRED SEPARATION OF OCCUPANCIES  
 INSERT ANY REQUIREMENTS

TABLE 509 - INCIDENTAL USES  
 INSERT ANY REQUIREMENTS

**CHAPTER 6 - TYPES OF CONSTRUCTION**

TABLE 601 FIRE RESISTANCE RATING (BUILDING ELEMENTS)  
 PRIMARY STRUCTURE  
 EXTERIOR BEARING WALLS  
 INTERIOR BEARING WALLS  
 NON BEARING WALLS  
 FLOORS  
 ROOFS

TABLE 602 - FIRE RESISTANCE RATING-SEPARATION (EXTERIOR WALLS)

**CHAPTER 7 - FIRE AND SMOKE PROTECTION**

SECTION 706 - FIRE WALLS  
 TABLE 706.4 - FIRE WALL FIRE RESISTANCE RATING

SECTION 707 - FIRE BARRIERS  
 TABLE 707.3.10 - FIRE RESISTANCE RATINGS

SECTION 708 - FIRE PARTITIONS

SECTION 709 - SMOKE BARRIERS

SECTION 710 - SMOKE PARTITIONS

**CHAPTER 9 - FIRE PROTECTION SYSTEMS**

SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS  
 SECTION 907 - FIRE ALARM AND DETECTION SYSTEMS

**CHAPTER 10 - MEANS OF EGRESS**

SEE CALCULATED OCCUPANCY LOAD CHART  
 TABLE 1006.3.1 - MINIMUM NUMBER OF EXITS PER STORY  
 TABLE 1017.2 - EXIT ACCESS TRAVEL DISTANCE



PROJECT LOCATION

LOCATION MAP

DRAWING SHEET INDEX	
3 - ARCHITECTURAL	
A100	PLANS
A200	SCHEDULES

**GENERAL NOTES:**

- ALL WORK ON THIS PROJECT IS TO BE BUILT IN ACCORDANCE TO ALL FEDERAL, STATE, AND LOCAL BUILDING CODES. CONTRACTOR SHALL BRING TO ARCHITECT'S ATTENTION ALL ITEMS REQUIRING INTERPRETATION.
- ALL CONTRACTORS ON THIS PROJECT MUST BE REGISTERED WITH THE STATE OF IOWA. GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE STATE REGISTRATION AND INSURANCE CERTIFICATES FROM EACH CONTRACTOR AND TRANSMIT TO ARCHITECT PRIOR TO START OF CONSTRUCTION.
- HAZARDOUS MATERIAL: THE OWNER AT THIS TIME HAS NO KNOWLEDGE OF ASBESTOS OR ANY OTHER HAZARDOUS MATERIAL WITHIN OR ADJACENT TO THE EXISTING BUILDING. SHOULD THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS ENCOUNTER MATERIAL WHICH THEY SUSPECT TO CONTAIN OR BE CONTAMINATED WITH ASBESTOS OR OTHER HAZARDOUS MATERIAL IN HAZARDOUS FORM, THEY SHOULD IMMEDIATELY:
  - CEASE ALL OPERATIONS IN THE AREA OF SUSPECTED MATERIAL.
  - NOTIFY THE OWNER VERBALLY AND CONFIRM THE NOTIFICATION IN WRITING. ONCE NOTIFIED, THE OWNER WILL BE RESPONSIBLE TO HAVE THE QUESTIONABLE MATERIAL TESTED AND IF NECESSARY, REMOVED OR STABILIZED.

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the state of Iowa

Kyle David Martin Date: \_\_\_\_\_  
 License number: 06709  
 License expires: \_\_\_\_\_ Date issued: \_\_\_\_\_  
 Pages or sheets covered by this seal: \_\_\_\_\_

PRELIMINARY - NOT FOR CONSTRUCTION

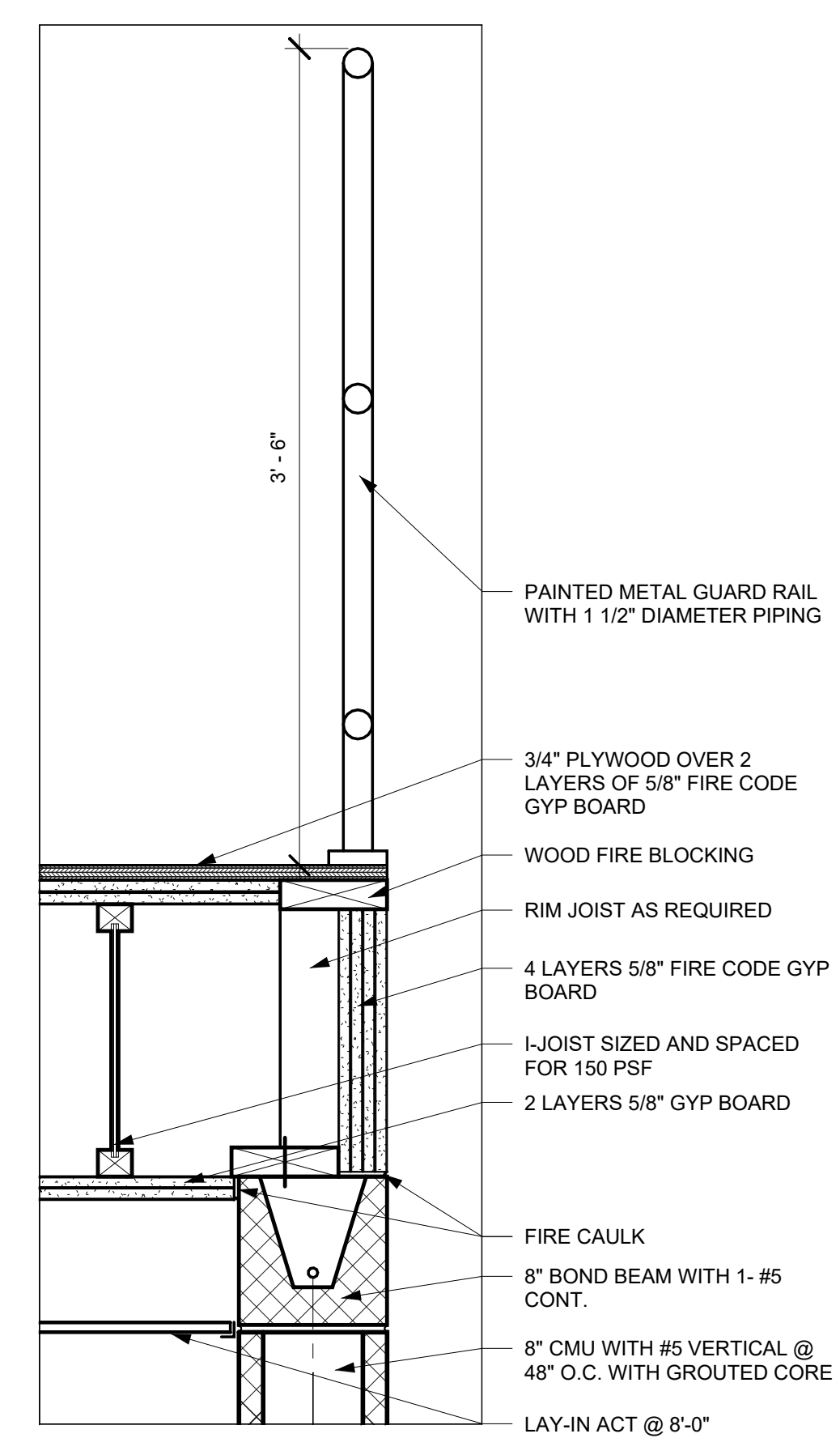
CITY OF CHARLES CITY  
 FIRE STATION RENOVATION



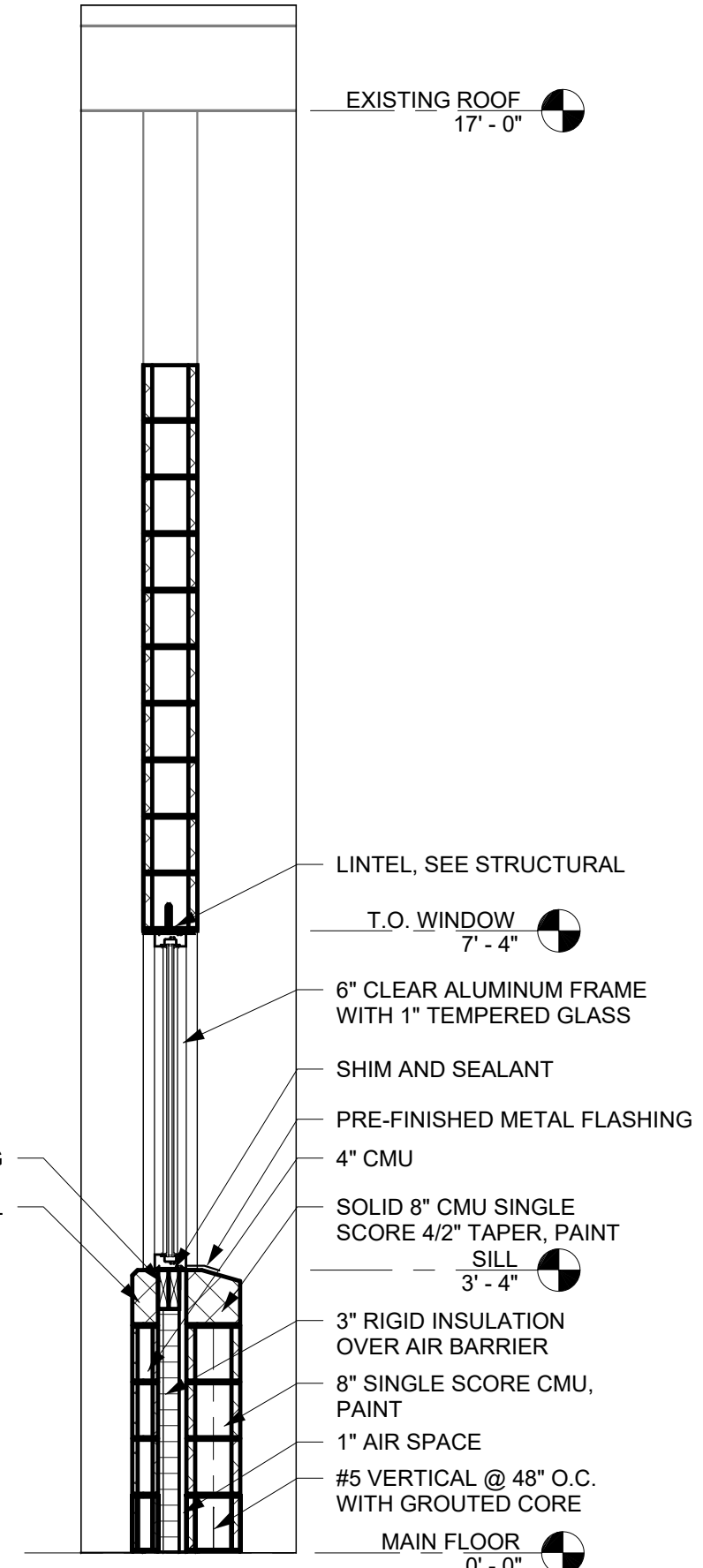
700 11TH ST  
 SUITE 200  
 MARION, IOWA  
 52302  
 (319) 377-7604  
 WWW.MARTINGARDNERARCH.COM  
 11502 390TH ST  
 STRAWBERRY  
 POINT, IOWA  
 52076  
 (563) 933-4712



Project Status: Issue Date	REVISION	DATE
	NUMBER:	
	EX	



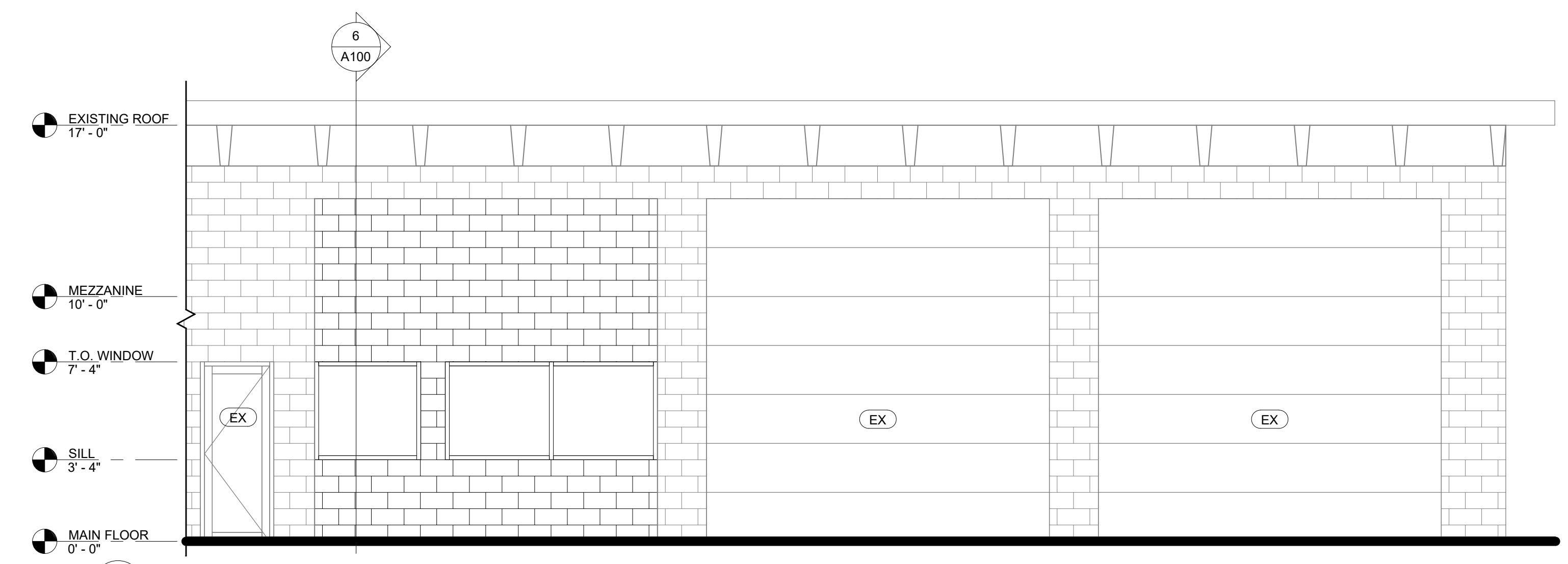
7 T.O. WALL DETAIL  
1 1/2" = 1'-0"



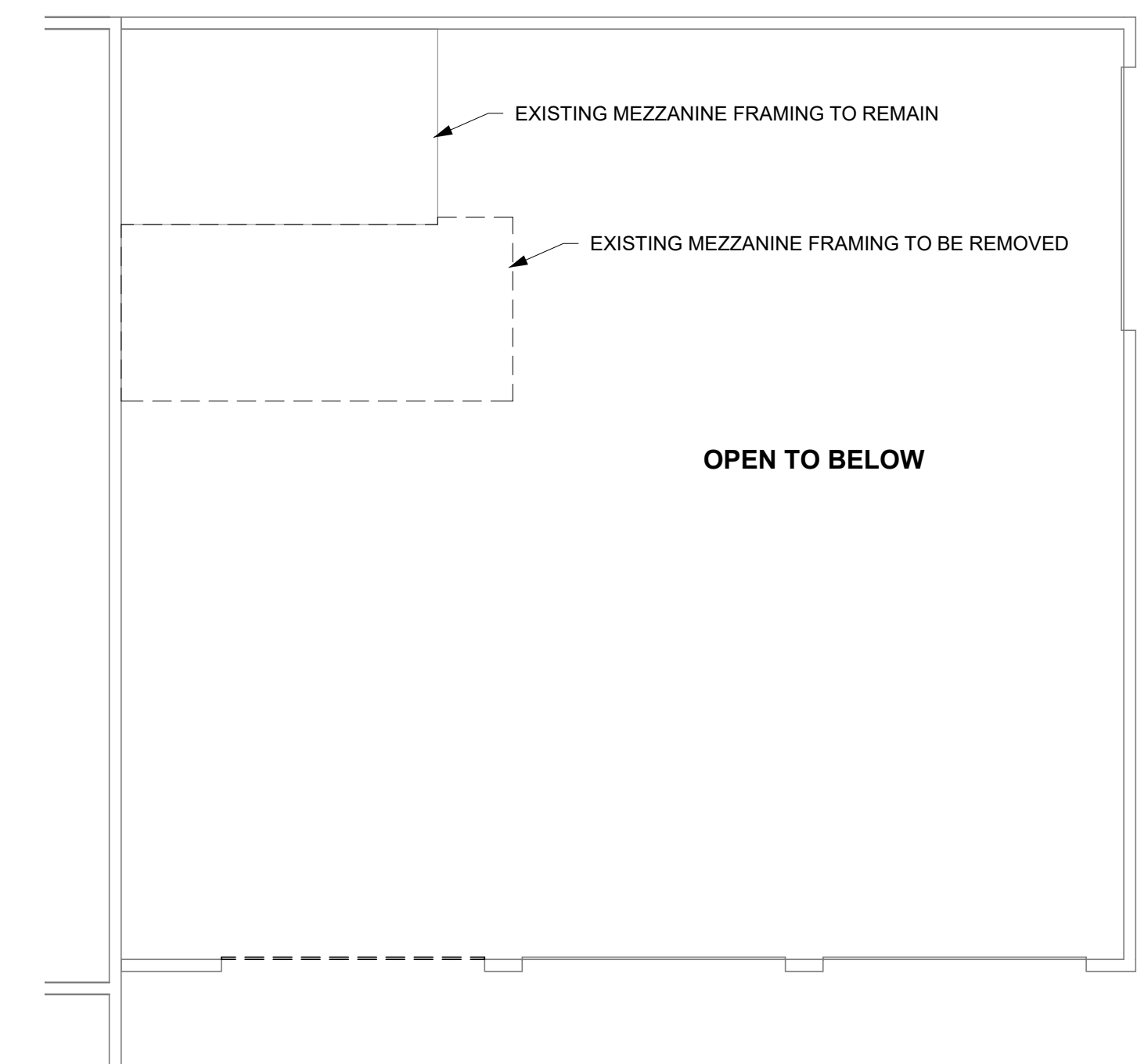
6 WALL SECTION  
1/2" = 1'-0"

FLOOR PLAN NOTES:

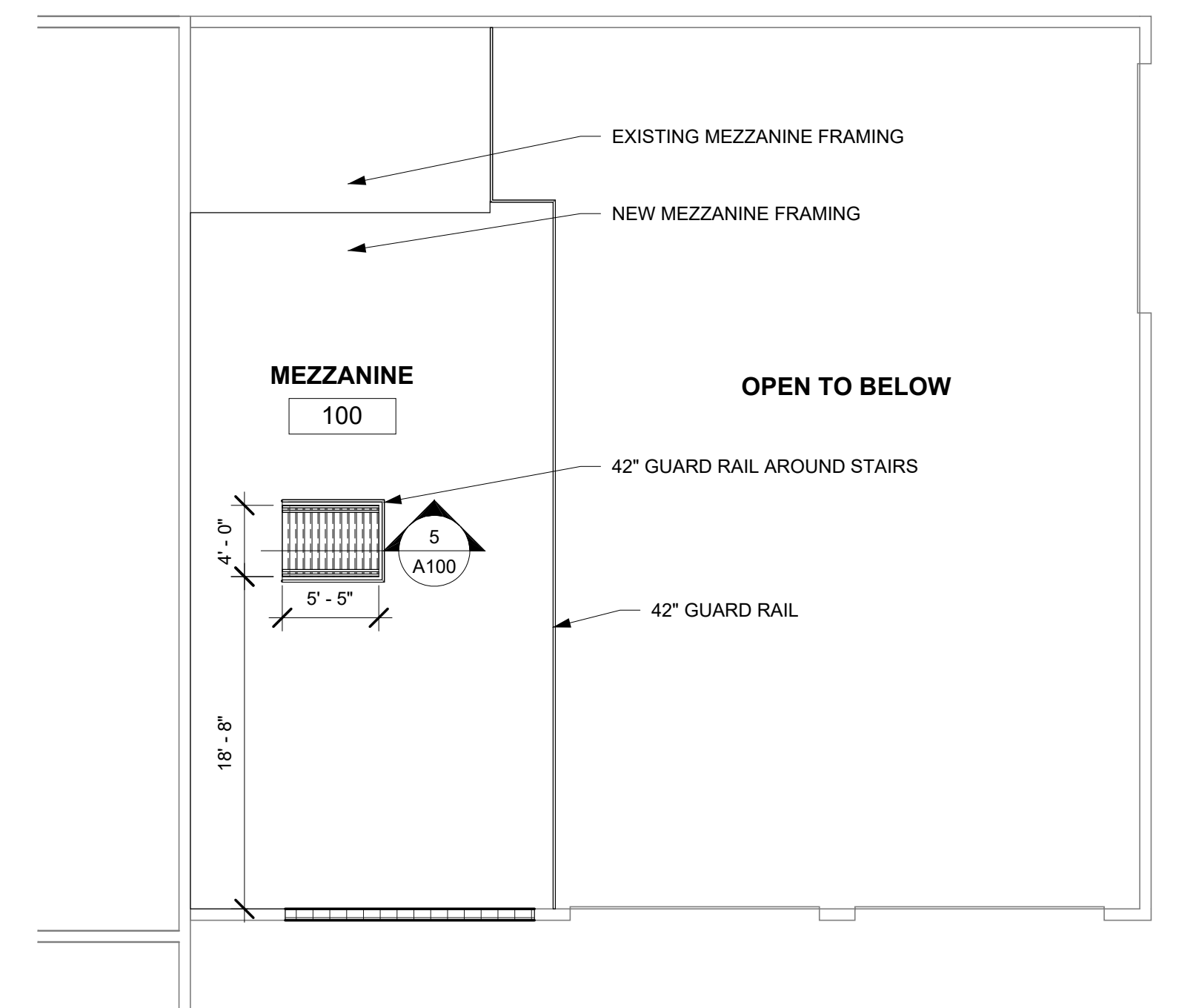
1. ALL EXTERIOR DIMENSIONS ARE TO THE EXTERIOR FACE OF FRAMING, WHICH ALIGN TO THE EXTERIOR FACE OF FOUNDATION WALL.
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF FRAMING.
3. ALL SILL PLATES AND OTHER FRAMING COMING INTO CONTACT WITH CONCRETE IS TO BE TREATED.
4. AT PIPE CHASES ON EXTERIOR WALLS, INSULATE BETWEEN PIPE AND EXTERIOR FACE. DO NOT INSULATE ON INTERIOR SIDE OF CHASE.
5. VERIFY ALL DUCT CHASES WITH MECHANICAL CONTRACTOR PRIOR TO CHASE CONSTRUCTION.
6. ALL DOORS ARE TO BE 3'-0" x 7'-0" HOLLOW METAL WITH HOLLOW METAL FRAMES. ALL NEW DUPLEX OUTLETS TO BE MOUNTED +2'-0" ABOVE FINISHED FLOOR TO BE ABOVE FLOOD PLAIN.
- 7.



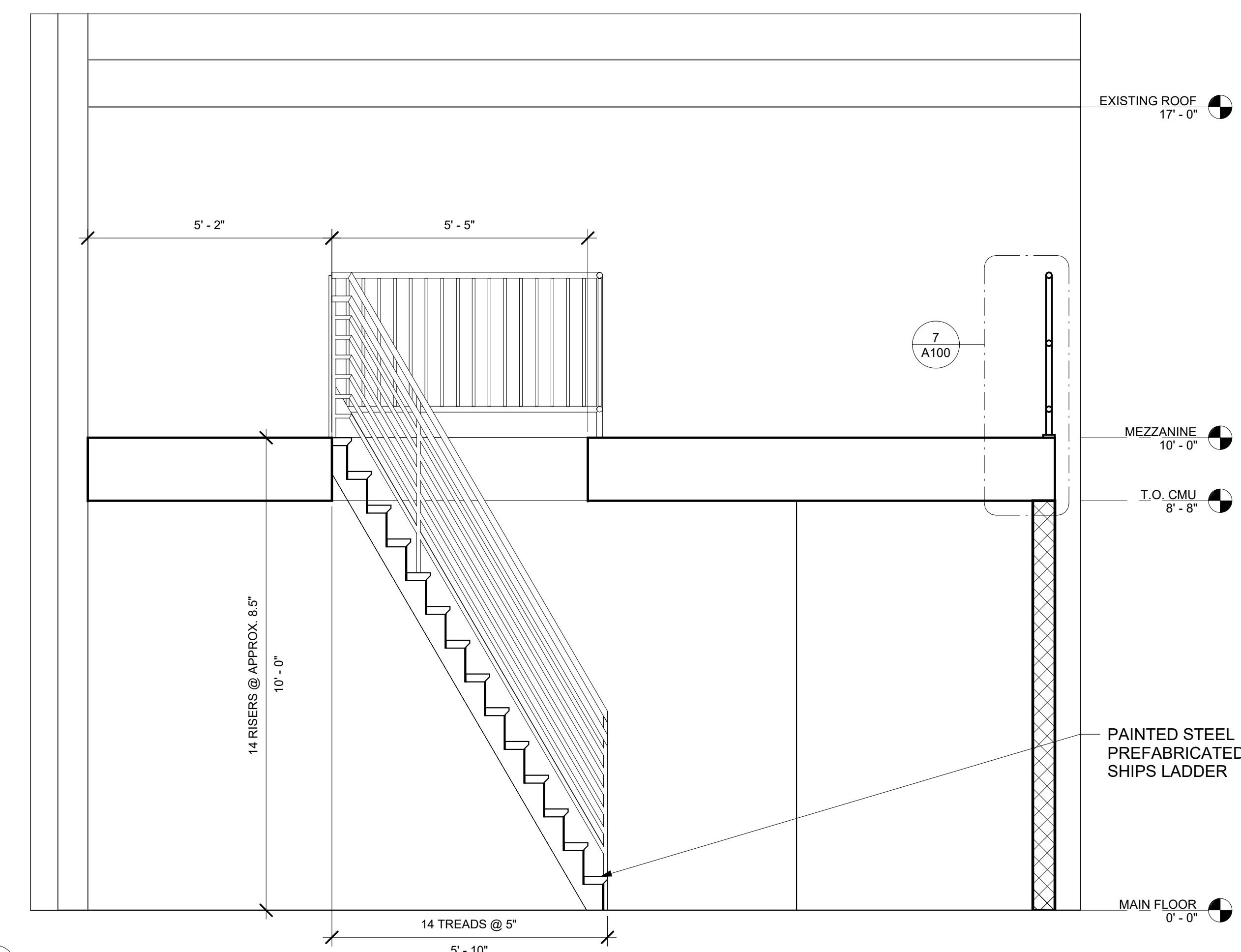
8 SOUTH ELEVATION  
1/4" = 1'-0"



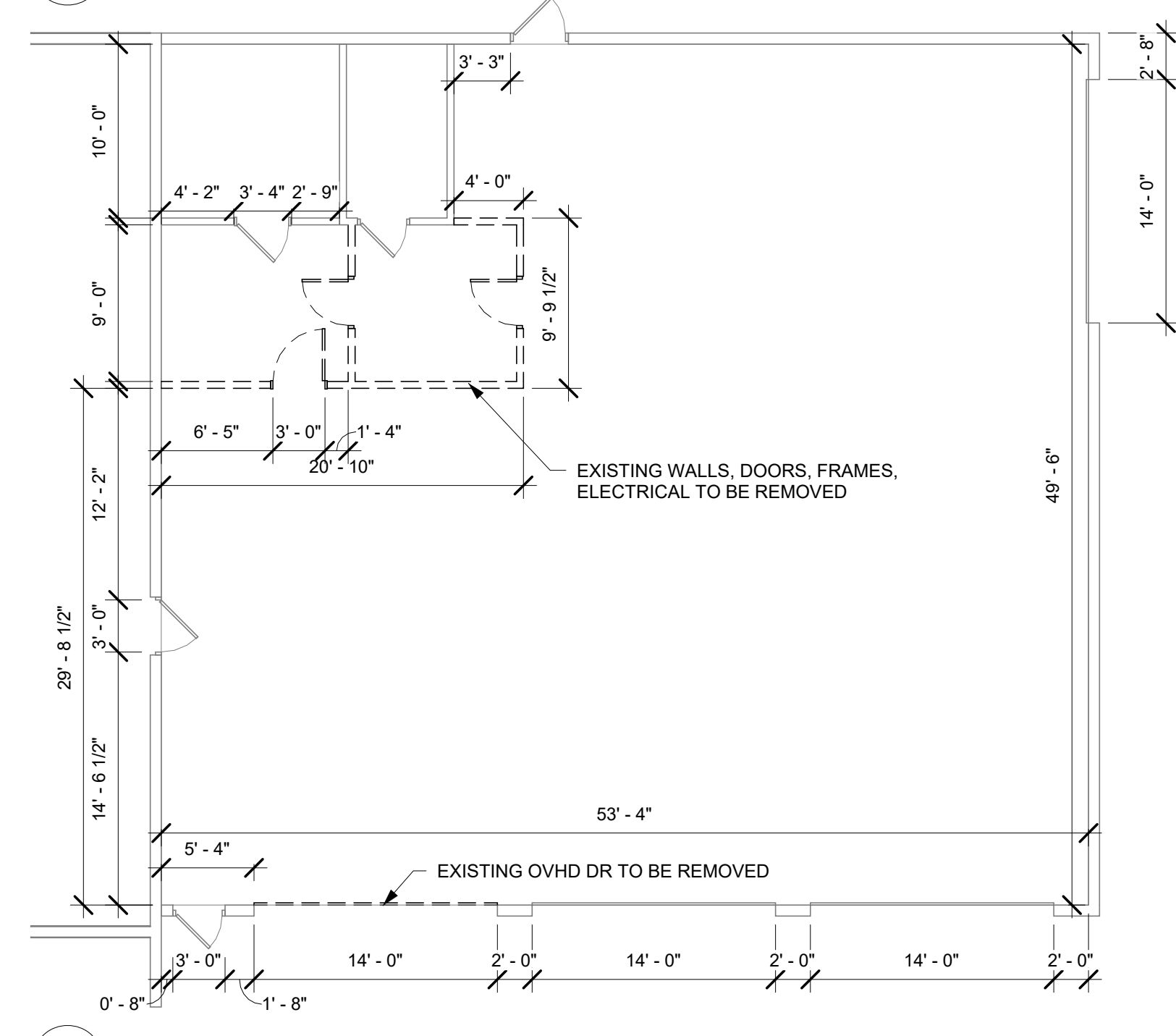
4 MEZZANINE - DEMO  
1/8" = 1'-0"



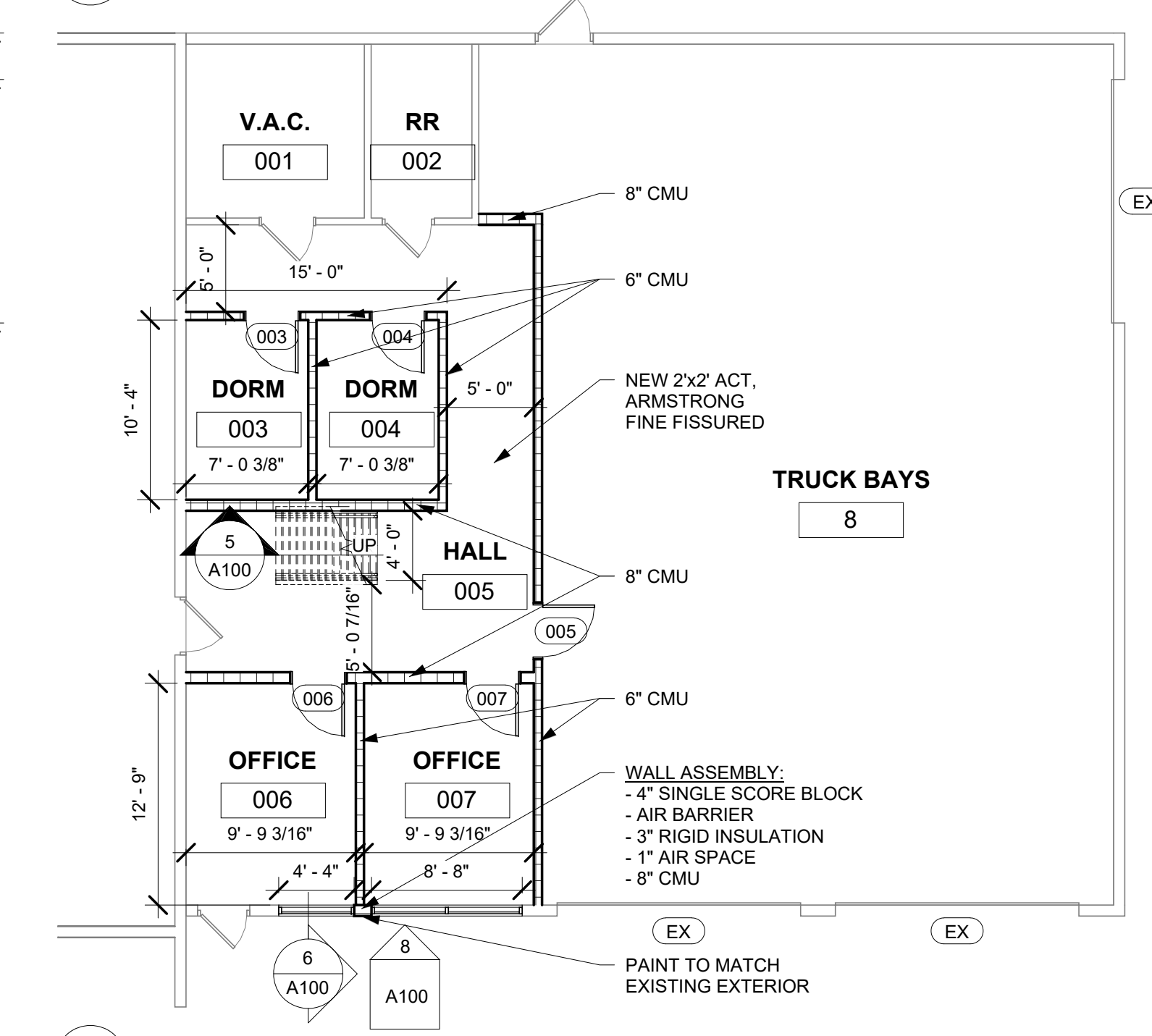
2 MEZZANINE - NEW  
1/8" = 1'-0"



5 MEZZANINE SECTION  
1/2" = 1'-0"



3 MAIN FLOOR - DEMO  
1/8" = 1'-0"



1 MAIN FLOOR - NEW  
1/8" = 1'-0"

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CITY OF CHARLES CITY  
FIRE STATION RENOVATION



700 11TH ST  
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PRELIMINARY - NOT FOR CONSTRUCTION

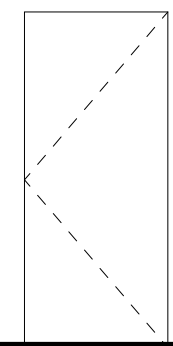
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PLANS

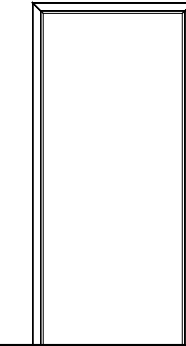
DOOR AND FRAME SCHEDULE

DOOR NO.	DOOR						FRAME						FIRE LABEL	NOTES
	WIDTH	HEIGHT	THICK	MATERIAL	TYPE	GLASS	TYPE	MATERIAL	GLASS	DETAIL				
										HEAD	JAMB	SILL		
003	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	A	---	I	HOLLOW METAL	---					PRIVACY LOCKS
004	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	A	---	I	HOLLOW METAL	---					PRIVACY LOCKS
005	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	A	---	I	HOLLOW METAL	---			45 MIN.		KEYED LOCK AND CLOSER
006	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	A	---	I	HOLLOW METAL	---					KEYED LOCK
007	3' - 0"	7' - 0"	0' - 1 3/4"	HOLLOW METAL	A	---	I	HOLLOW METAL	---					KEYED LOCK



A

DOOR TYPES  
1/4" = 1'-0"



I

FRAME TYPES  
1/4" = 1'-0"

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISHES				CEILING FINISH	CEILING HT.	NOTES
				NORTH	EAST	SOUTH	WEST			
001	V.A.C.							ACT		
002	RR							ACT		
003	DORM							ACT		
004	DORM							ACT		
005	HALL							ACT		
006	OFFICE							ACT		
007	OFFICE							ACT		
100	MEZZANINE									

Project Status: Issue Date	
REVISION NUMBER:	DATE:

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RMT:10/26/2021

PRELIMINARY - NOT FOR CONSTRUCTION

CITY OF CHARLES CITY  
FIRE STATION RENOVATION



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A200  
11788.01



*Building Trust for Over a Century*

208 East State Street  
Mason City, IA 50401  
T: 641.423.5674 F: 641.423.9244  
www.henkelconstruction.com

January 11, 2021

Mr. Steven T. Diers, City Administrator  
City of Charles City  
105 Milwaukee Mall  
Charles City, IA 50616

SUBJECT: Fire Station Renovation  
City of Charles City  
Charles City, Iowa

Dear Mr. Diers:

We offer the following proposal for construction services of the Fire Station Renovation in Charles City, Iowa. Please review the following scope of work as it provides a detailed itemization of what is included in this proposal.

#### Bidding Information

1. Site visit with Steven Diers/City of Charles City, John Fallis/City of Charles City, Hugh Anderson/City of Charles City, Mark Moine/Martin Gardner Architecture, and Dylan Belvo/Henkel Construction Company on September 8, 2020.
2. Site visit with Steven Diers/City of Charles City, Mark Moine/Martin Gardner Architecture, James Joslin/Mechanical Air, Doug Wiltsie/Blazek Electric, and Dylan Belvo/Henkel Construction Company on December 18, 2020.
3. Preliminary drawings prepared by Martin Gardner Architecture, including sheets COVER, A100, and A200, titled 'City of Charles City: Fire Station Renovation' and dated January 4, 2021.

#### Scope of Work

##### General

4. Supervision of construction activities performed under Henkel Construction.
5. Equipment required to complete scope of work.
6. Dumpster and landfill costs.
7. Weather-tight, secure temporary enclosure at overhead door opening as required for the duration of the project.
8. Ongoing and final clean up of areas affected by construction.
9. Demolition of a portion of the existing mezzanine.
10. Demolition of interior walls supporting existing mezzanine to be removed.

11. Remove three (3) doors, frames, and hardware. Salvage to the Owner, if required.
12. Remove one (1) 14' x 14' overhead door, track and operator. Salvage to the Owner, if required.
13. Shore existing precast double tees for steel lintel installation above new windows.
14. 4", 6" and 8" CMU walls with reinforcing. Exterior 8" CMU to be single scored to match existing.
15. Steel stairs with guardrails and handrails.
16. Steel guardrails around three sides of stairway opening.
17. Steel guardrail at southeast edge of mezzanine, continuing onto existing mezzanine.
18. Steel lintel above new windows.
19. Pre-engineered I-joists for mezzanine floor structure.
20. Rim joist, as required.
21. 2-ply 11-7/8" LVL header at ends of hallway to support I-joists span.
22. 2-ply 11-7/8" LVL headers as required for stairway opening.
23. 3/4" T&G plywood decking.
24. Miscellaneous treated and fire treated 2x lumber.
25. Air barrier and 3" rigid insulation at masonry wall cavity.
26. Fire caulking and joint sealants.
27. Five (5) 3070 hollow-metal doors, frames and finish hardware, as noted on the door and frame finish schedule.
28. Three (3) inoperable aluminum windows and flashings.
29. Fire code drywall as noted in drawings. The drywall exposed to the existing ambulance bays to have level 3 finish and all other drywall to have a level 1 finish.
30. Acoustical ceiling using fine fissured square edge 2' x 2' ceiling tile and white commercial grid.
31. Painting of interior/exterior masonry walls, steel stair flight, steel handrails, steel guardrails, doors, frames, and drywall exposed to the existing ambulance bays. The entire exterior CMU wall of the ambulance bays to be painted for a uniform finish.
32. Modifications of existing sprinkler system for coverage in rooms 003, 004, 005, 006, and 007.

### Mechanical

33. HVAC Services to be Performed by Mechanical Air.
34. Furnish and install 4-Zone Fujitsu 36,000 BTU Mini Split that provides heat when outside temps are at -15° F.
35. Furnish and install one (1) 120V, 1-phase, 30-gallon electric water heater.

### Electrical

36. Electrical Services to be Performed by Blazek Electric.
37. Demolition of existing electrical as required.
38. Relocate CO-NO2 monitor and fan controller.
39. Relocate Fire Alarm Horn/Strobe.
40. Relocate garage light switches and thermostat. Overhead door controls to stay in existing location.
41. Relocate CATV cabling for dorm rooms.
42. Wiring of mini-split unit with two (2) remotes.
43. 30A, 208-volt single-phase water heater.
44. Twenty-two (22) duplex receptacles.
45. Four (4) quad receptacles.
46. Two (2) motion switches.
47. Two (2) dimmer switches.
48. One (1) switch.



49. Six (6) low-bay LED fixtures above new mezzanine.
50. Three (3) smoke/CO detectors.
51. One (1) exit light.
52. Three (3) emergency lights.
53. Replace existing electrical panel with 3-phase, 40 space panel.

Not Included

54. Any items not specifically listed above.
55. Supervision of any work to be performed outside scope of work described above.
56. Mechanical and electrical design services by licensed professional engineer. Mechanical and electrical systems to be designed by trade specific contractor.
57. Sales tax on material purchases.
58. Professional design services or fees.
59. Structural engineering design services or fees.
60. Building permit fee (waived by City).
61. Builders Risk Insurance (by Owner).
62. Performance/Payment and Maintenance Bonds.
63. Flood Damage Insurance (by Owner).
64. Temporary utility consumption charges, including water, heat or electrical (by Owner).
65. Temporary barricades, access roads, etc.
66. Temporary sanitary facilities (assumed workers can use existing restroom).
67. Testing and inspection services.
68. Liquidated damages.
69. Removal/relocation of any equipment or materials not specifically listed above.
70. Relocation of office furniture, fixtures and equipment (by Owner).
71. Casework or countertops.
72. Batt insulation.
73. Roofing, or roof patching (all new penetrations are to go through the exterior wall).
74. Access controls.
75. Automatic door operators.
76. Carpet tile and vinyl base (please see Voluntary Alternate #1).
77. Painting of mezzanine floor (please see Voluntary Alternate #2).
78. Wall protection or corner guards.
79. Signage.
80. Fire extinguishers or cabinets.
81. Sprinkler services not specifically listed above.
82. Plumbing services (none required).
83. Relocation of the radiant tube heater.
84. HVAC services not specifically listed above.
85. Relocation of overhead door controls.
86. Electrical services not specifically listed above.

Cost

87. We offer a Lump Sum, Base Bid amount of **\$138,900.00** for the scope of work detailed above.
88. **Voluntary Alternate #1:** to furnish and install carpet tile and vinyl base in rooms 003, 004, 005, 006, and 007, transition pieces as required at carpet termination, please ADD \$4,550.00 to the Lump Sum,

Base Bid amount. The carpet tile priced is J&J Commercial Carpet Tile Well Versed or Impulse III, color to be determined.

89. **Voluntary Alternate #2:** to paint the mezzanine flooring with epoxy paint, please ADD \$1,910.00 to the Lump Sum, Base Bid amount.

Project pricing will be held for execution for 30 days. After 30 days, we withhold the right to modify the bid to meet current market conditions. Please indicate your acceptance and agreement by signing in the space provided below and returning one (1) original signed copy for our files and implementation. Thank you for the opportunity to submit a proposal on this project. We look forward to working with you. Should you have questions, please contact me.

Sincerely,

HENKEL CONSTRUCTION COMPANY

By 

Dylan S. Belvo  
Project Estimator

**ACCEPTED: City of Charles City**

By \_\_\_\_\_

Date \_\_\_\_\_

Base Bid: Yes \_\_\_\_\_ No \_\_\_\_\_  
Vol. Alt. #1: Yes \_\_\_\_\_ No \_\_\_\_\_  
Vol. Alt. #2: Yes \_\_\_\_\_ No \_\_\_\_\_



## Scope Proposal: Charles City MGA Projects

### Ambulance Bay Renovation

Item:	Price:
Management/Permits/Waste Removal/Etc General Demolition is Excluded/By Owner Demolition of Overhead Door & Opener (Salvage to Owner) Interior Masonry Walls & Infill of Overhead Door Opening Wood Framed Mezzanine Steel Stairs & Steel Handrail @ Stairs Wood Framed Rail @ Mezzanine (Per Conversation w/ Owner) ACT Ceiling Drywall Per Plan Carpet Tile & Vinyl Base (Material Allowance of \$25/SY) Hollow Metal Doors, Frames & Hardware per Plan Painting of New Construction (Includes Exterior of Door Infill) Mini-Split System for Heating & Cooling (Includes Re-position of Heater) Electrical Per Plan (Includes Relocation of Existing as Necessary)	
<b>Total</b>	<b>\$123,863</b>
Delete Windows:	-\$2,870
Delete ACT:	-\$3,250
Additional Exterior Painting:	No Price
Fire Sprinkler Excluded - Recommend Allowance:	\$3,000



## Chamber of Commerce Vestibule

Item:	Price:
Management/Permits/Waste Removal/Etc	
Demo of Existing Vestibule	
Demo & Replace Existing Exterior Windows w/ Storefront System	
Framing & Finishing of New Walls @ Entry	
Re-work of Existing ACT	
Walk-Off Carpet in Entry (Assumes Existing Carpet to Remain in Office)	
Replacement of Damaged Wood Panels under Windows	
Storefront Entry w/ Auto Operators	
Relocation of Existing Return Air	
Electrical Per Plan (Includes Cabinet Unit Heater)	
<b>Total</b>	<b>\$73,252</b>
Alternate A-1: 10" Cast Aluminum Letters	\$2,232
Alternate A-2: 7 " Cast Aluminum Letters	\$4,650
Alternate A-3: Replace Rear Entry Door (Per Door)	\$2,600
Use of Curtain Wall System on Exterior Windows	\$3,800

## Scope Clarifications

<p>Pricing is proposed as single packages.</p> <p>Sales Tax is excluded</p> <p>Pricing is Valid for 7 Days to to Supplier Volatility</p> <p>Excludes any responsibility for existing structural floor system in Chamber Building</p> <p>Performance &amp; Payment Bonds are Excluded</p>
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